

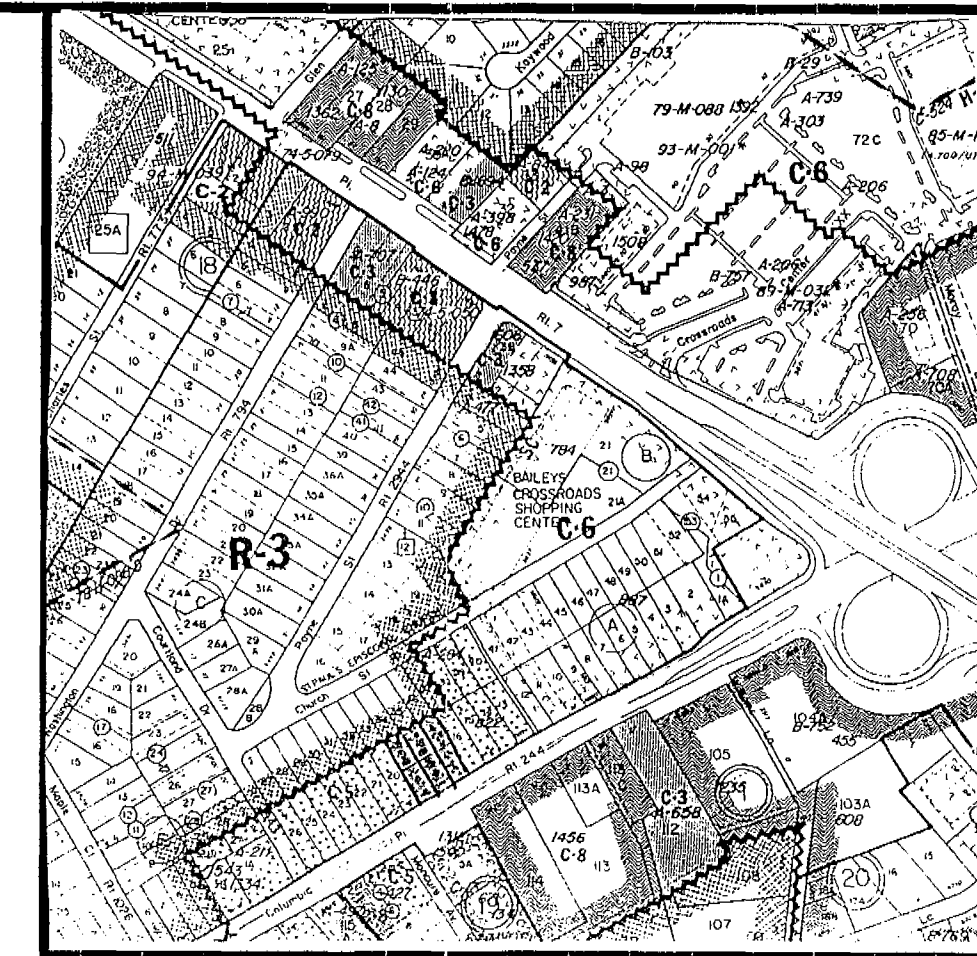
PLANTING SCHEDULE				
KEY	COMMON NAME	BOTANICAL NAME	MIN. SIZE	SPACING
"A"	BRADFORD PEAR	PURUS CALLERYANA	10-12"	15' O.C.
"B"	JUNIPERUS PFITZERIANA	PFITZER JUNIPER	2-2 1/2'	4-5' O.C.

ABBREVIATIONS:

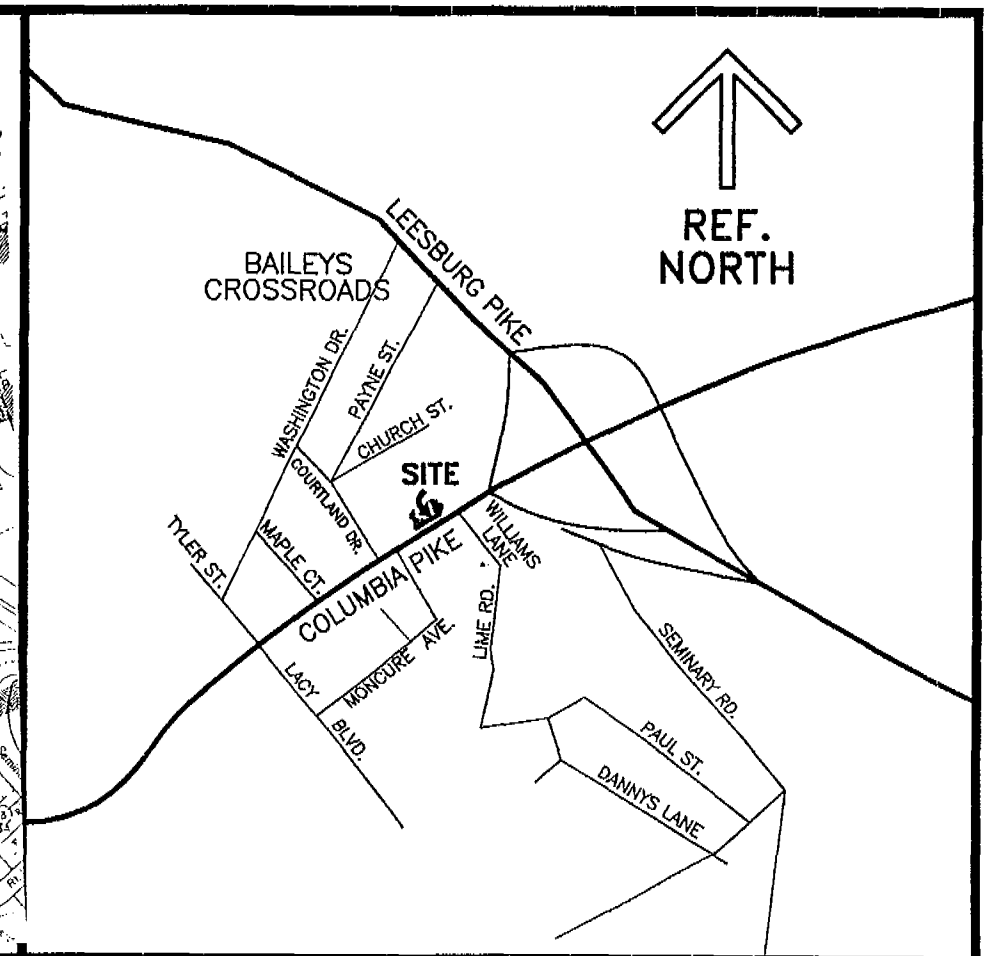
ABV. = ABOVE	HC. = HANDICAPPED
@ = AT	HORIZ. = HORIZONTAL
B.R.L. = BEARING	L.P. = LIGHT POLE
BOT. = BOTTOM	MH = MANHOLE
BLDG. = BUILDING	MW = MONITOR WELL
CONC. = CONCRETE	UST = UNDERGROUND
DIA. = DIAMETER	STG. = STORAGE TANK
DN. = DOWN	VAC = VACUUM
ELECT. = ELECTRIC	
ELEV. = ELEVATION	
EX. = EXISTING	
FLR. = FLOOR	

SYMBOL LEGEND:

	= LIGHT POLES (L.P.)
	= FUEL ISLAND & MULTIGRADE DISPENSER
	= TRAFFIC DIRECTION INDICATOR
	= TRASH CONTAINER & VACUUM
	= BUMPER POST (U SHAPED)
	= VEHICLE SHOWN FOR CAR CLARITY OF WASH STACKING AND FUEL POSITION ARRANGEMENT.
	= SITE DRAIN
	= EXISTING CONTOUR LINE



ZONE MAP
SCALE:



VICINITY MAP

OWNER INFORMATION:

CONTRACT OWNER	SKYLINE AMOCO L.L.C. 5842 COLUMBIA PIKE FALLS CHURCH, VIRGINIA % MUHAMMAD ALHUSSEIN
PROPERTY OWNER:	PREMIUM OIL CO. LLC 107 ST. ANDREWS ST. NE VIENNA, VA. 22180
PROPERTY ADDRESS:	SKYLINE AMOCO 5842 COLUMBIA PIKE FALLS CHURCH, VIRGINIA 22041
PHONE:	703-980-9214

PROPERTY DATA:

PROPERTY AREA:	29,070 S.F. OR 0.67 ACRES
LOT	LOT NO'S. 17, 18 & 19
BLOCK:	A
BOOK	#11115, PAGE 1462
SUBDIVISION:	COURTLAND PARK
DISTRICT:	MASON
SUPERVISORY DISTRICT:	MASON
ZONED:	C-5
TAX ASSESSMENT MAP:	#061-2-17-A-0017-A #061-2-17-A-0017 #061-2-17-A-0018 #061-2-17-A-0019

EXISTING STRUCTURE DATA:

CONSTRUCTION DATE:	1958
EX. BUILDING AREA:	1,846 S.F.
EX. BUILDING HEIGHT:	15 FT.

PROPOSED STRUCTURE DATA:

PROPOSED BUILDING HEIGHT:	22.0 FT.
PROPOSED CANOPY HEIGHT:	20.0 FT. (17 FT. CLEAR)
PROPOSED BUILDING AREA:	3,201 S.F.
(SECOND LEVEL ACCESSORY OFFICE)	400 S.F.
TOTAL BUILDING AREA:	3,601 S.F.
PROPOSED CANOPY AREA:	4,032 S.F.

F.A.R.: = 0.12

YARD SETBACKS: (BUILDING)

FRONTYARD	REQUIRED: 30.0 FT. min. ACTUAL: 110.5 FT.
WEST SIDEYARD	REQUIRED: 0 FT. ACTUAL: 0 FT.
EAST SIDEYARD	REQUIRED: 0 FT. ACTUAL: 43.0 FT.
REARYARD	REQUIRED: 30.0 FT. min. ACTUAL: 24.2 FT.

YARD SETBACKS: (CANOPY)

FRONTYARD	REQUIRED: 30 FT. min. ACTUAL: 39.2 FT.
WEST SIDEYARD	REQUIRED: 0 FT. ACTUAL: 37.7 FT.
EAST SIDEYARD	REQUIRED: 0 FT. ACTUAL: 40.3 FT.
REARYARD	REQUIRED: 30 FT. min. ACTUAL: 98.6 FT.

FRONTYARD PARKING SETBACK:

N/A

TYPE OF OPERATION:

EXISTING USE:	GASOLINE STATION W/3 SERVICE BAYS.
PROPOSED USE:	GASOLINE STATION/MINI MART W/ONE (1) AUTOMATED CAR WASH & ACCESSORY OFFICE

HOURS OF OPERATION: 24 HOURS PER DAY

NUMBER OF EMPLOYEE'S: 3

UTILITIES:

WATER:	PUBLIC
SEWER:	PUBLIC

PARKING TABULATION:

1 SPACE PER 200 S.F. OF BUILDING AREA	2,640 S.F. = 13.2 SPACES
1 SPACE PER 2 EMPLOYEES	3 EMPLOYEE'S = 2 SPACES
3 EMPLOYEE'S = 2 SPACES	TOTAL SPACES REQUIRED: 15 SPACES
TOTAL SPACES PROVIDED:	15 SPACES

REQUESTED WAIVERS:

(1) 5.8 FT. REARYARD BUILDING SETBACK REDUCTION	OF THE REQUIRED 30 FT. MIN. (TOTAL SETBACK = 24.2 FT.)
10 TO 12 (AVERAGE) @ ANY GIVEN TIME OF DAY.	APPROX. TRIPS GENERATED FOR A 24 HR. PERIOD = 500-600.

ESTIMATE OF TRAFFIC IMPACT:

ESTIMATED PEAK USE OF THE FUELING FACILITIES	WILL OCCUR DURING THE HOURS OF 7:00 A.M. TO 9:00 A.M. AND 4:30 P.M. TO 6:30 P.M. WEEKDAYS.
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ALL PATRONS ENTERING AND EXISTING THIS FACILITY MUST DO SO (WESTERLY) IN THE DIRECTION OF TRAFFIC.

HAZARDEOUS OR TOXIC SUBSTANCES:

GASOLINE AND DIESEL FUEL IN UNDERGROUND STORAGE TANKS SHALL MEET AND ALL LOCAL, STATE AND FEDERAL ENVIRONMENTAL REGULATIONS.

ANTIFREEZE, WINDSHIELD SOLVENT AND MOTOR OIL SHALL BE IN PREPACKAGED CONTAINERS AND MERCHANDIZED FROM THE C-STORE.

NO MECHANICAL SERVICES ARE PERFORMED ON SITE.
NO HAZARDEOUS OR TOXIC SUBSTANCES SHALL BE DISPOSED OF ON SITE.

EXISTING UST'S TO BE REMOVED:

4 EA. 4,000 GAL. U.S.T.'s.

NEW UST'S TO BE INSTALLED:

ONE (1) COMPARTMENTALIZED 25,000 GAL. U.S.T. FOR BLENDING.
(10,000 GAL. SUPER GRADE & 15,000 GAL. REG. GRADE)

DESCRIPTION OF ARCHITECTURE:

CONTEMPORARY DESIGN
BRICK & STUCCO FINISH
BP CONNECT IMAGE COLORS: BLD'G: WHITE
TRIM: GREEN & YELLOW

GENERAL NOTES:

TO THE BEST OF MY KNOWLEDGE, THERE IS NO GRAVE, OBJECT OR STRUCTURE MARKING A PLACE OF BURIAL ON THIS SITE.

FLOOD PLAIN NOTE:

THIS LOCATION APPEARS TO PLAT IN FLOOD ZONE "X" AREA DETERMINED TO BE OUTSIDE THE 500 YEAR FLOOD PLAIN, AS SHOWN ON F.E.M.A. MAP #515525 3393 D EFFECTIVE DATE: MARCH 5, 1990.

COVER TYPE SUMMARY TABLE:

COVER TYPE:	OPEN FIELD
PRIMARY SPECIES:	TWO (2) LOCUST TREES BORDER THE WESTERLY SIDE OF REAR PROPERTY LINE.
SUCCESSIONAL STAGE:	N.A.
ACREAGE:	.324 ACRES OR 14,100 S.F.
CONDITION:	THE LOCUST TREES DO NOT CONFORM TO THE FINAL PLANTING APPEARANCE OF THE BUFFERED AREA. THEIR SURVIVAL DURING CONSTRUCTION IS POOR.

OPEN GREEN AREAS:

GREEN AREA #1 = 1,940 S.F.	
GREEN AREA #2 = 985 S.F.	
GREEN AREA #3 = 514 S.F.	
GREEN AREA #4 = 1,825 S.F.	
GREEN AREA #5 = 783 S.F.	
TOTAL = 6,047 S.F. = 20.8% GREEN AREA COVERAGE OF 29,070 S.F. SITE AREA	

CATEGORY 5 USES:

ADDITIONAL SUBMISSION REQUIREMENTS: N/A

STORMWATER MANAGEMENT NOTES:

- 2 EA. NEW SITE DRAINS SHALL BE CONNECTED TO THE EXISTING SITE GRATE @ LOCATION OF EXISTING CURB INLET #1
- CAR WASH TRENCH DRAINS AND OVERFLOW SHALL BE CONNECTED TO THE LOCATION OF EXISTING CURB INLET #2.
- CAR WASH SHALL INCLUDE A RECLAIM SYSTEM.

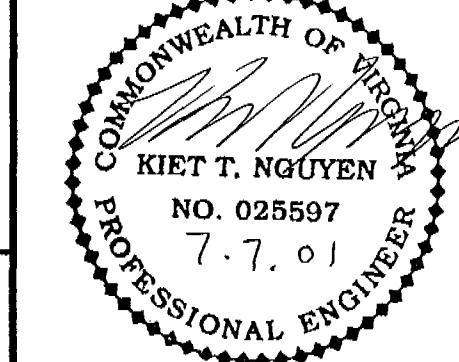
SPECIAL NOTE:

THIS PROPERTY IS LOCATED WITHIN THE BAILEY'S CROSSROADS REVITALIZATION DISTRICT AND ZONING ORDINANCE SECTION A7-200.

PREPARED BY:

DAVID B. FRIEND
CONSULTANT
FOR THE PETROLEUM INDUSTRY
429 1/2 CALLEN AVE.
MORGANTOWN, WV 26501

CERTIFICATION:



DATE: 12-01-2000

SCALE: 1"=20 FT.

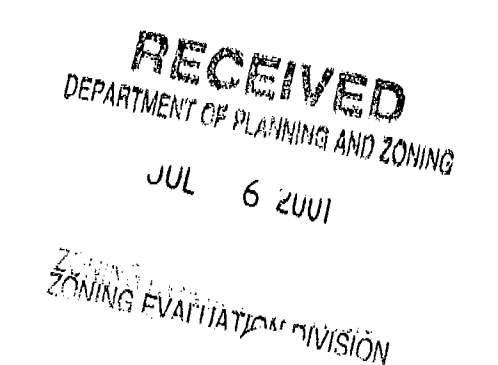
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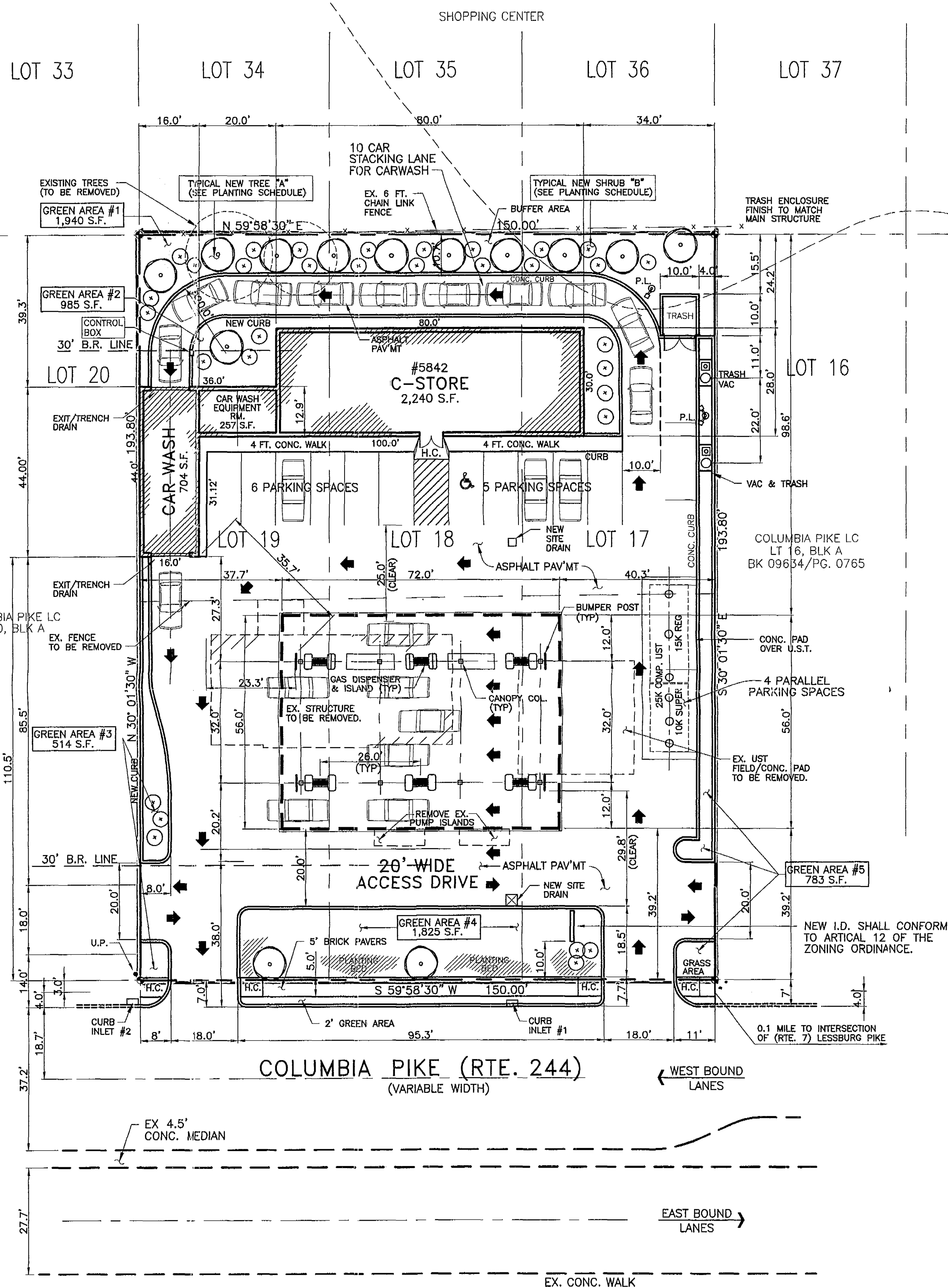
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REV. NO.	REVISION DESCRIPTION	DATE
1	GENERAL REVISION	6-4-2001

PROJECT:	SKYLINE AMOCO 5842 COLUMBIA PIKE LOTS #17, 18, 19 MASON DISTRICT FALLS CHURCH FAIRFAX COUNTY, VIRGINIA
DESCRIPTION:	SITE PLAN FOR SPECIAL EXCEPTION



Application No. SE-01-M-010 Self T. Smolen
APPROVED 7/1/01
SEE DEV CONDS DATED 7-1-01
Date of (BOS) (BZA) approval 7-9-01
Sheet of



SITE PLAN
SCALE: 1"=20.0'

WILLIAMS LANE - NEAREST
INTERSECTING STREET
(LOCATION NOT TO SCALE)